

**REPORT TO THE BOARD OF PORT COMMISSIONERS**  
**1<sup>st</sup> QUARTER 2026**

**QUARTERLY OPERATIONS REPORT**

<b>REPORT</b>	<b>NO ACTION</b>	<b>ATTACHED</b>
Rental Property Occupancy		X
Travel Approved Within WA, OR, ID, and BC, Canada		X
Marina and Boat Yard Operations		X
Port Angeles Boat Haven Occupancy		X
John Wayne Marina Occupancy		X
Marine Terminal Operations		X
Marine Terminal Utilization		X
Log Yard Operations		X
Log Yard Loads		X

Port Property Inventory / Status - Q1 2026		SF	Improved Properties Rented	Improved Properties Rent Ready	Not Rent Ready	Total Rented Acres
Property	Location					
<b>Port Operations Facilities</b>						
Port Administration Building	338 W. First Street	11,828				
Facilities Maintenance Annex	112 S. Valley Street	9,375				
Facilities Maintenance	2604 W 18th Street (small red bldg)	420				
Facilities Maintenance	2604 W. 19th ST B (Pole Building)	2,880				
Log Scale Building	1500 Blk Marine Drive	2,600				
Operations for Terminals and Security	Marine Terminal, 202 N. Cedar St., Suite 6 upstairs	1,322				
Mechanic Shop	1301 Marine Drive	20,900	500			
John Wayne Marina, Harbormaster Office	2577 W. Sequim Bay Road	3,001	200			
FIA Airport Manager's Office	Fairchild International Airport	900				
FIA Airport Terminal Space - Conference Room	Fairchild International Airport	672				
Garage	Critchfield Rd @ Saddle Club	780				
	<b>TOTAL PORT OPS BUILDINGS SF</b>	<b>54,678</b>				
<b>Port Rental Properties</b>						
<b>For Rent</b>						
Airport Coffee Shop	1402 William R Fairchild Airport Rd	840		840		0.00
1010 Building	2140 W 18th Street (15,000 office, 10,000 warehouse)	25,000	10,935		14,065	0.25
1010 Phase II Transition (access to OH doors unrented)	2140 W 18th Street (16,600 warehouse)	16,600	12,690		3,910	0.29
1050 Building	2140 W 18th Street (40,000 SF)	40,000	32,250		7,750	0.74
1050 Building Paint Booths	2140 W 18th Street Paintbooths	2,924			2924	
1050 Phase I Addition	2140 W 18th Street (2 tenants in this Phase)	8400	3,926		4,474	0.09
MTIB Suites A, B	2007 S O Street - 3,000 SF Offices/ 7,000 SF Warehouse	10,000		10,000		0.75
Marine Terminal Office	202 N. Cedar Street, Suite 4	270		270		
Baby Store (Office)	313 N. 1st Street			2,400		
430 Marine Drive	Green garage and fenced paved lot.	1,150		1,150		
	<b>AVAILABLE PROPERTIES TOTAL SF</b>	<b>105,184</b>	<b>59,801</b>	<b>14,660</b>	<b>33,123</b>	<b>1.37</b>
<b>Rented Properties</b>						
<b>North Airport Industrial Park (NAIP)</b>						
2 Grade, LLC	Land E of 2417 W 19th					0.55
2 Grade	2032 S. O Street (garage)		3,000			0.07
Natural Systems Design	2032 S. O Street (Office and fenced land)		861			0.11
ACTI 10.20	2138 W 18th St		25,000			0.57
ACTI 10.30	2138 W 18th St		25,000			0.57
ACTI 10.40	2138 W 18th St		25,000			0.57
ACTI 2230	2230 W 18th St		25,000			0.57
<b>Rented Properties</b>						
<b>North Airport Industrial Park (NAIP)</b>						
Arrow Marine Services, Inc.	2140 W 18th Street - storage within 1050 Building		1,000		5,250	0.02
Armstrong Consolidated, LLC	2007 S. O Street, Suites C,D,E		16,800			1.60
Barhop Brewing LLC	2506 W. 19th Street		2,952			0.07

Port Property Inventory / Status - Q1 2026		SF	Improved Properties Rented	Improved Properties Rent Ready	Not Rent Ready	Total Rented Acres
Property	Location					
City Parks & Recreation	2602 W 18th St; Buildings 6,407 SF; Land 167,871 SF		6,407			3.85
Clallam County Youth Services	1912 West 18th Street (T.I.)		0			3.84
CRTC	2220 W 18th Street - Main Bldg and Lab Space		21,374			0.49
CRTC	2140 W 18th Street (1050)		26,000			0.00
CRTC Bldg front offices	2220 W 18th Street - CRTC Building Offices	2,318	2318			0.00
First Step Family Support Center	2140 W 18th Street (1050)		1,125			0.03
Port Angeles Hardwood, LLC	2140 W 18th Street (1010)		23,625			0.54
Insitu Ecosystems LLC	2140 W 18th Street (1050 Phase 1 Addition)		989		1,812	0.02
FKC Co., Ltd	2708 W 18th St (T.I.)		0			4.94
Knight Fire Protection	2509 W 19th St Land (T.I.)		0			0.51
Lifeflight Network LLC	2530 W 19th Street- Office		2,500			0.06
Lifeflight Network LLC	2530 W 19th Street- Land		0			0.44
Murrey's Disposal Inc.	2548 19th Street (land and bldg)	115,671	19,800			0.45
Peninsula Rifle & Pistol Club	2600 W 18th St (T.I.)		0			0.41
Public Utility District #1	1936 W 18th Street (T.I.)		0			6.89
GSA - USDHS	1908 South O Street		6,028			0.14
Renaissance Property Holdings LLC	900 Block Marine Drive <i>(Due Diligence Only)</i>		0			2.26
<b>Waterfront Rental Properties</b>						
A.M. Holdings, Inc. (Platypus) Area C	102 N. Cedar (Area C Bldg and Land)		900			0.31
A.M. Holdings, Inc. (Platypus) Area A & B	102 N. Cedar (T.I.) Area A&B Land		0			3.95
A.M. Holdings, Inc. (Platypus)	Terminal 1 dock		11,000			0.25
Accurate Angle Crane	Boat Yard Dry Storage		0			0.01
Arrow Marine	914 Marine Drive		3200			0.07
Arrow Marine	916 Marine Drive		5000			0.11
Arrow Marine	435 Marine Drive		6,549			0.15
30 Gold LLC (Coffee Shop)	436 Marine Drive (Land only)		0			0.19
Project Macoma LLC	1301 Marine (portion of Mech Shop)		500			0.00
Project Macoma LLC	Terminal 7 Berthage and Log Yard		23,722			0.07
MRSC (outside storage)	220 Tumwater Truck Rte - Parking Lot	21,080	0			0.48
ConocoPhillips (outside storage)	220 Tumwater Truck Rte - Parking Lot	2,000	0			0.05
Fenced (outside storage) available	220 Tumwater Truck Rte - Parking Lot	10,500	0			0.00
Olympic Hiking Co.	720 Marine Drive		1,300			0.34
Black Ball Transport, Inc.	101 East Railroad Ave - Terminal 2		0			3.85
Bluewater Boatworks, LLC	830 W Boat Haven Drive		1,500			0.03
WA Fish & Wildlife	202 N Cedar, Suite 3 Office		380			0.01
<b>Waterfront Rental Properties</b>						
Biobased Trading LLC	202 N Cedar Suite 1 (office)		399			0.01
Biobased Trading LLC	Terminal 1 conveyor storage		2400			0.06
Global Diving & Salvage, Inc.	202 N Cedar, Suite 2 and 300 SF Warehouse		635			0.01
High Tide Seafoods/Oly Pen Seafood	3rd Ave Lot Storage		0			0.07

<b>Port Property Inventory / Status - Q1 2026</b>			Improved Properties Rented	Improved Properties Rent Ready	Not Rent Ready	Total Rented Acres
Property	Location	SF				
High Tide Seafoods/Oly Pen Seafood	820 Marine Drive		6,000			0.14
Motive Power Marine, LLC	731 Marine Drive		10,000			0.23
MSRC - Storage on T1	On T1 Dock - Storage		0			0.03
MSRC - Parking on T1	On T1 Dock - Parking		0			0.04
MSRC - Parking near T3	Parking near T3		0			0.02
National Response Corporation	Terminal 7 Berthage	248 LF	248			0.01
John Eric Bert	812 Boat Haven Drive		945			0.02
Andy Choi	801 Marine Drive		10,322			0.24
PetroCard, Inc.	801 Marine Drive (NW portion)		1,683			0.00
PA Yacht Club	1305 Marine Drive (T.I.)		0			0.20
Petrocard, Inc.	832 Boat Haven		165			0.00
Petrocard, Inc.	Retail Lease in the Boatyard Bldg		125			0.00
Petrocard, Inc.	A-4 Storage		420			0.01
Petrocard, Inc.	Fuel Tank Land		0			0.03
Petrocard, Inc.	Fuel Float		0			0.05
Westech Consulting, LLC	937 Boathaven (office on the jetty)		624			0.01
Waterfront Automotive	930 Marine Drive, Suite C		0		2,400	0.06
Fire Chief Equipment	930 Marine Drive, Suite D		0		600	0.01
WA Dept Fish & Wildlife	930 Marine Drive, Suite E		0		600	0.01
Westport LLC.	Sign lease - Marine Dr / Tumwater	570				0.01
Westport LLC. 720 Marine Dr	720 Marine Dr Parking (land only)	60,000				1.38
Westport LLC, Boatyard Dry Storage	Ground lease @ BY dry storage					0.32
<b>John Wayne Marina</b>						
Sequim Bay Yacht Club - Room Space	2577 West Sequim Bay Rd		951			0.02
Sequim Bay Yacht Club - Outside Storage	2577 West Sequim Bay Rd					0.04
Baranof Yacht Sales	2577 West Sequim Bay Rd (Upper Floor Crow's Nest)		220			
Steve W. Little, Inc. (Dockside Grill)	2577 West Sequim Bay Rd		2,154			
<b>Downtown Port Angeles/Seki</b>						
North Olympic Healthcare Network	323 W First St, 20 parking spaces	7,400				0.17
WA Small Business Development Ctr	338 W First St, Admin Office Suite 202		177			0.00
Lambert Consulting, LLC	338 W First St, Admin Office, Suite 101		230			0.01
Clallam County Fire District #5	Seki Airport Hangar		3,200			0.07
<b>South Airport Rental Properties</b>						
Angeles Communications, Inc.	1402 William R. Fairchild Airport		750			0.02
Fedex - 1 tie down	1402 William R. Fairchild Airport		0			0.11
Fedex - hangar	1402 William R. Fairchild Airport		9,600			0.22
Fedex - office	1402 William R. Fairchild Airport		1,432			0.03
FAA Antenna & Rack Space	1402 William R. Fairchild Airport		360			0.01
High Flyer Owners Assn Condo A	Hangar Pad A (T.I.)		0			0.29
High Flyer Owners Assn Condo C	Hangar Pad C (T.I.)		0			0.29

<b>Port Property Inventory / Status - Q1 2026</b>			Improved Properties Rented	Improved Properties Rent Ready	Not Rent Ready	Total Rented Acres
Property	Location	SF				
Lifeflight Network LLC	1405 Airport Road - Hangar		2,750			0.06
Lifeflight Network LLC	1405 Airport Road - Office		792			0.02
Lifeflight Network LLC	1406 Airport Road - Hangar		2,160			0.05
Lifeflight Network LLC	1406 Airport Road - Office		1,256			0.03
Lifeflight Network LLC	1407 Airport Road - Hangar		2,160			0.05
Lifeflight Network LLC	1407 Airport Road - Office		280			0.01
Merrill & Ring	Airport Log Yard		0			1.00
Olympic R/C Modelers	Critchfield Road (T.I.)		0			1.30
Josh Borte	Critchfield Road (30 acres) in-kind services		0			30.00
PA Nieuport Group	Hangar Pad D (T.I.)		0			0.29
R&B Properties and Investments	Hangar Pad B (T.I.)		0			0.29
Citizen Air LLC	FIA Terminal		1,000			0.02
Citizen Air LLC	FIA East Block Hangar		2,300			0.05
Citizen Air LLC	FIA West Block Hangar		2,560			0.05
Citizen Air LLC	FIA East Corporate Hangar		3,844			0.09
Fairchild Fuel LLC	FIA Fuel Farm; 11,700 SF land		0			0.27
Welldone Aviation, LLC	1402 Airport Road, Hangar Pad F Building 900 (T.I.)	17,500	0			0.40
DART (Clallam Co. Emergency Mgmt)	FIA terminal		970			0.02
US Coast Guard	Taxiway	5,000	0			0.11
Peninsula Trails Coalition	Conex box at long term parking		0			0.004
	<b>TOTAL RENTED SQUARE FOOTAGE</b>		<b>769,194</b>			
	<b>VACANT - NOT RENT READY</b>		<b>33,123</b>			
	<b>TOTAL VACANT &amp; RENT READY SF</b>		<b>14,660</b>			
<b>IMPROVED PROPERTY</b>	<b>OVERALL OCCUPANCY FACTOR</b>		<b>98%</b>			
<b>IMPROVED PROPERTY</b>	<b>RENT READY OCCUPANCY FACTOR</b>		<b>2%</b>			
<b>DEVELOPED ACREAGE (shovel ready)</b>						
<b>South Airport</b>						
South Airport	Hangar Pad E (Land)	17,500				
<b>Business Park Acreage</b>						
35.5 Acres	(Zoned Light Industrial)			35.50		
<b>Waterfront</b>						
18 Acres	Marine Trade Center			18.00		
Vacant lot near Chevron (was Armstrong)	413 W 2nd Street			0.33		
	<b>TOTAL DEVELOPED ACREAGE</b>			<b>53.83</b>		
<b>UNDEVELOPED ACREAGE (awaiting capital improvement)</b>						
<b>FIA</b>						
72 Acres Land SE Airport Terminal	(Zoned IL Industrial Light)				72.00	
126 Acres Land SW Airport Terminal	(Aviation Related)				126.00	
	<b>TOTAL UNDEVELOPED ACREAGE</b>				<b>198.00</b>	

**TRAVEL APPROVED BY THE EXECUTIVE DIRECTOR**  
**(Within WA, OR, ID, and British Columbia, Canada)**  
**1<sup>st</sup> Quarter 2026**

STAFF	LOCATION OF MTG.	DATE(S)	PURPOSE
James Alton Caleb McMahan	Puyallup, WA	2/20/2026 - 2/22/2026	NW Aviation Conference and Tradeshow
Jenna Riley Katharine Frazier Chris Hartman	Olympia, WA	3/26/2026	Government to Government Training

**Report to the Board of Port Commissioners  
Operations Report for  
January 2026**

**Port Angeles Boat Haven**

Slip Length	No. of Slips	Occupied	Vacant	Occupancy Rate	Wait List	2025 Occupied Monthly
20'	57	0	57	0%	0	0
25'	24	23	1	96%	2	16
30'	80	61	19	76%	4	55
36'	29	27	2	93%	10	29
40'	32	31	1	97%	9	32
46'	17	17	0	100%	0	17
50'	90	83	7	92%	3	82
Side/End Tie	54	42	12	78%	4	42
Boathouses	40	40	0	100%	0	44
<b>Sub-Total</b>	<b>423</b>	<b>324</b>	<b>99</b>	<b>77%</b>	<b>32</b>	<b>317</b>
Limited 20'	13	0	13	0%	0	0
<b>TOTAL</b>	<b>436</b>	<b>324</b>	<b>112</b>	<b>74%</b>	<b>32</b>	<b>317</b>

**Boat Yard Report**

	Jan-26	Jan-25	YTD 2026	YTD 2025
Boats into the yard this month	9	10	9	10
Boats into the water this month	9	8	9	8
<b>Total Travel Lift Operations This Month</b>	<b>18</b>	<b>18</b>	<b>18</b>	<b>18</b>
<b>Year-To-Date Launch Ramp Permit Sales</b>			<b>24</b>	<b>26</b>

**John Wayne Marina**

Slip Length	No. of Slips	Occupied	Vacant	Occupancy Rate	Wait List	2025 Occupied Monthly
28'	72	28	44	39%	0	38
30'	46	25	21	54%	0	31
32'	28	21	7	75%	0	27
36'	22	21	1	95%	0	22
40'	19	19	0	100%	2	19
42'	21	20	1	95%	0	21
45'	10	10	0	100%	3	10
50'	27	27	0	100%	4	27
End Tie 49'	25	25	0	100%	5	25
<b>Sub-Total</b>	<b>270</b>	<b>196</b>	<b>74</b>	<b>73%</b>	<b>14</b>	<b>220</b>
Limited 20'	30	10	20	33%	0	10
<b>TOTAL</b>	<b>300</b>	<b>206</b>	<b>94</b>	<b>69%</b>	<b>14</b>	<b>230</b>

**Report to the Board of Port Commissioners  
Operations Report for  
February 2026**

**Port Angeles Boat Haven**

Slip Length	No. of Slips	Occupied	Vacant	Occupancy Rate	Wait List	2025 Occupied Monthly
20'	57	1	56	2%	0	0
25'	24	23	1	96%	2	20
30'	80	68	12	85%	4	77
36'	29	27	2	93%	10	29
40'	32	32	0	100%	9	32
46'	17	17	0	100%	0	17
50'	90	83	7	92%	3	81
Side/End Tie	54	41	13	76%	4	43
Boathouses	44	40	4	91%	0	44
<b>Sub-Total</b>	<b>427</b>	<b>332</b>	<b>95</b>	<b>78%</b>	<b>32</b>	<b>343</b>
Limited 20'	13	1	12	8%	0	1
<b>TOTAL</b>	<b>440</b>	<b>333</b>	<b>107</b>	<b>76%</b>	<b>32</b>	<b>344</b>

**Boat Yard Report**

	Feb-26	Feb-25	YTD 2026	YTD 2025
Boats into the yard this month	12	4	21	14
Boats into the water this month	10	4	19	12
<b>Total Travel Lift Operations This Month</b>	<b>22</b>	<b>8</b>	<b>40</b>	<b>26</b>
<b>Year-To-Date Launch Ramp Permit Sales</b>			<b>52</b>	<b>80</b>

**John Wayne Marina**

Slip Length	No. of Slips	Occupied	Vacant	Occupancy Rate	Wait List	2025 Occupied Monthly
28'	72	38	34	53%	0	54
30'	46	28	18	61%	0	37
32'	28	24	4	86%	0	28
36'	22	21	1	95%	0	22
40'	19	19	0	100%	2	19
42'	21	20	1	95%	0	21
45'	10	10	0	100%	3	10
50'	27	27	0	100%	4	27
End Tie 49'	25	25	0	100%	5	25
<b>Sub-Total</b>	<b>270</b>	<b>212</b>	<b>58</b>	<b>79%</b>	<b>14</b>	<b>243</b>
Limited 20'	30	10	20	33%	0	10
<b>TOTAL</b>	<b>300</b>	<b>222</b>	<b>78</b>	<b>74%</b>	<b>14</b>	<b>253</b>

**Report to the Board of Port Commissioners  
Operations Report for  
March 2026**

**Port Angeles Boat Haven**

Slip Length	No. of Slips	Occupied	Vacant	Occupancy Rate	Wait List	2025 Occupied Monthly
20'	57	11	46	19%	0	15
25'	24	24	0	100%	4	23
30'	80	77	3	96%	6	78
36'	29	28	1	97%	10	29
40'	32	32	0	100%	9	32
46'	17	17	0	100%	0	17
50'	90	84	6	93%	3	85
Side/End Tie	54	44	10	81%	4	43
Boathouses	44	40	4	91%	0	44
<b>Sub-Total</b>	<b>427</b>	<b>357</b>	<b>70</b>	<b>84%</b>	<b>36</b>	<b>366</b>
Limited 20'	13	1	12	8%	0	5
<b>TOTAL</b>	<b>440</b>	<b>358</b>	<b>82</b>	<b>81%</b>	<b>36</b>	<b>371</b>

**Boat Yard Report**

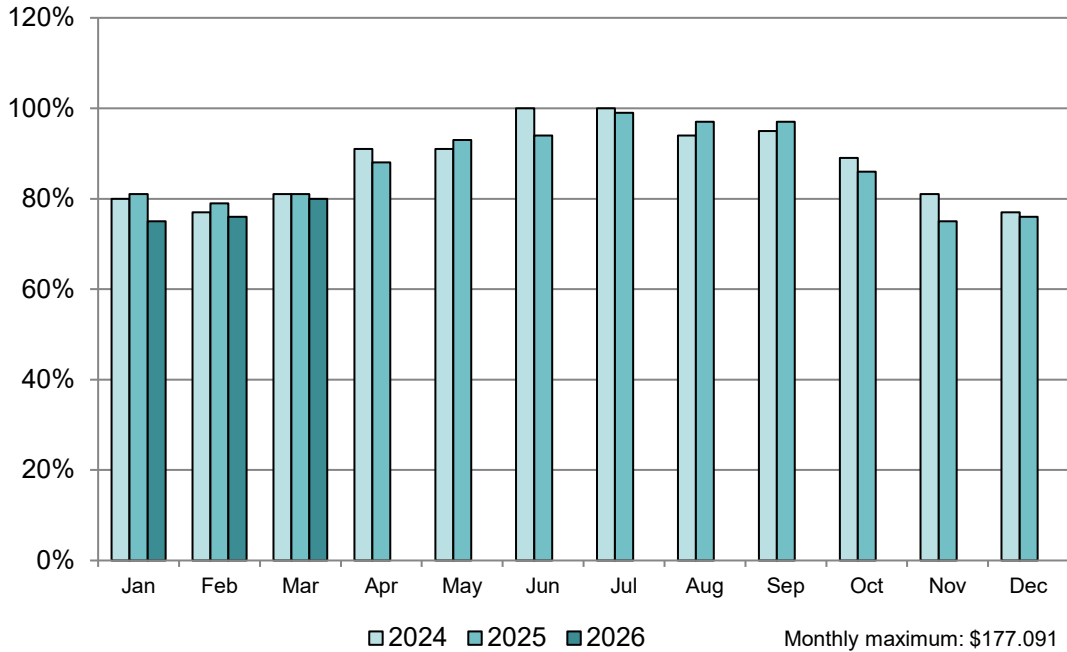
	Feb-26	Feb-25	YTD 2026	YTD 2025
Boats into the yard this month	26	29	26	43
Boats into the water this month	20	22	39	34
<b>Total Travel Lift Operations This Month</b>	<b>46</b>	<b>51</b>	<b>65</b>	<b>77</b>
<b>Year-To-Date Launch Ramp Permit Sales</b>			<b>109</b>	<b>177</b>

**John Wayne Marina**

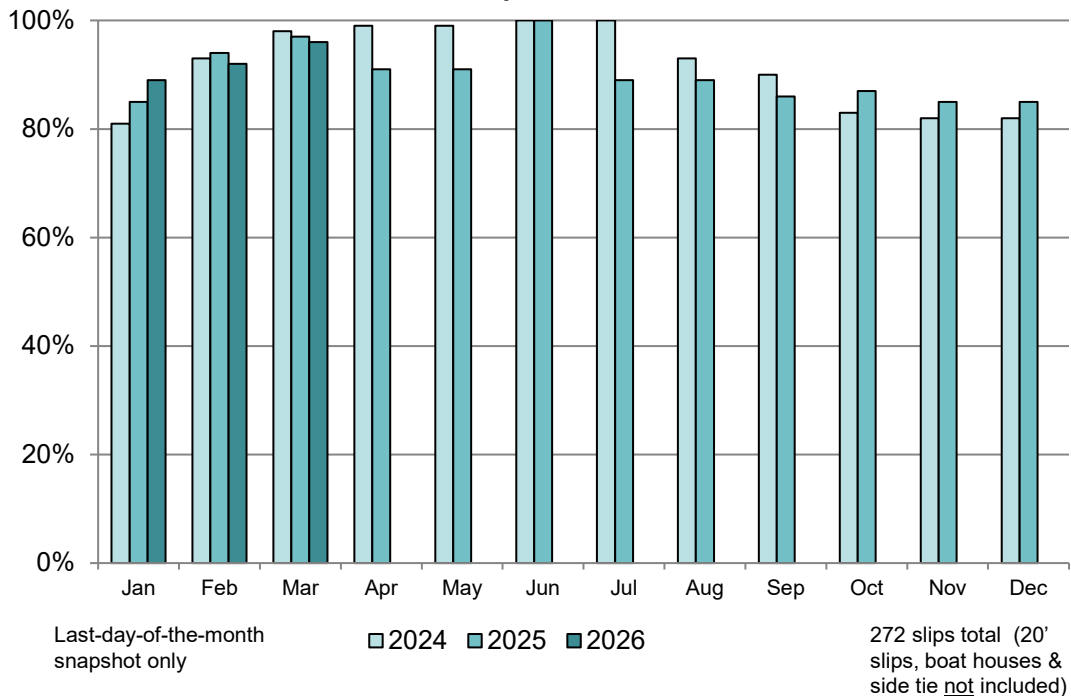
Slip Length	No. of Slips	Occupied	Vacant	Occupancy Rate	Wait List	2025 Occupied Monthly
28'	72	44	28	61%	0	54
30'	46	31	15	67%	0	37
32'	28	24	4	86%	0	28
36'	22	21	1	95%	1	22
40'	19	19	0	100%	3	19
42'	21	20	1	95%	1	21
45'	10	10	0	100%	2	10
50'	27	27	0	100%	5	27
End Tie 49'	25	25	0	100%	5	25
<b>Sub-Total</b>	<b>270</b>	<b>221</b>	<b>49</b>	<b>82%</b>	<b>17</b>	<b>243</b>
Limited 20'	30	11	19	37%	0	10
<b>TOTAL</b>	<b>300</b>	<b>232</b>	<b>68</b>	<b>77%</b>	<b>17</b>	<b>253</b>

# PABH Occupancy

## Revenue Based

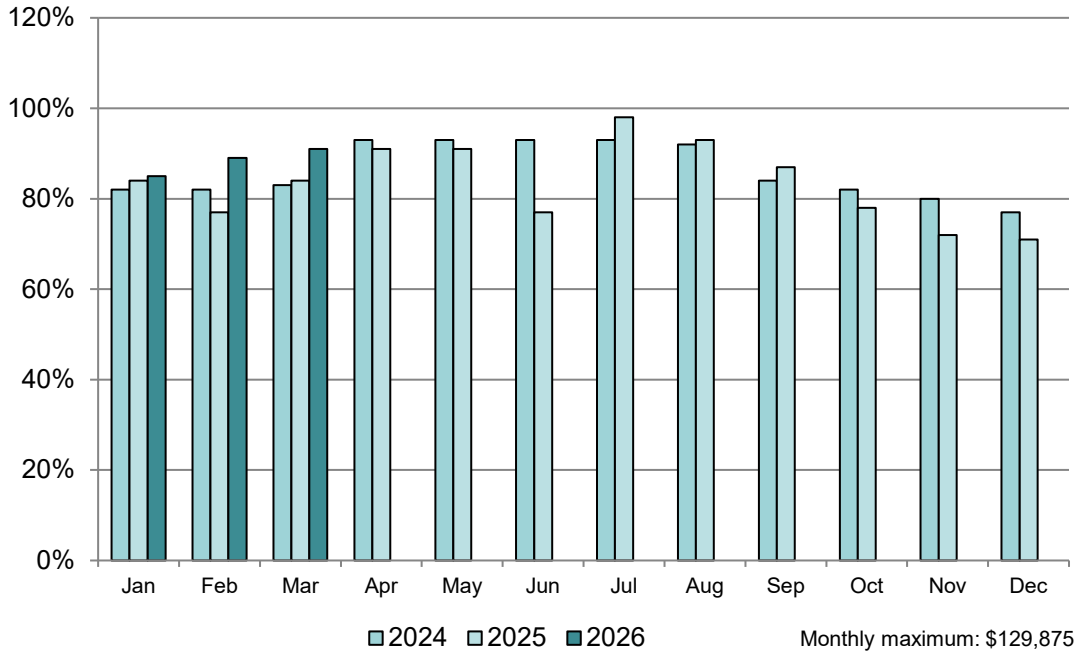


## Slip Based

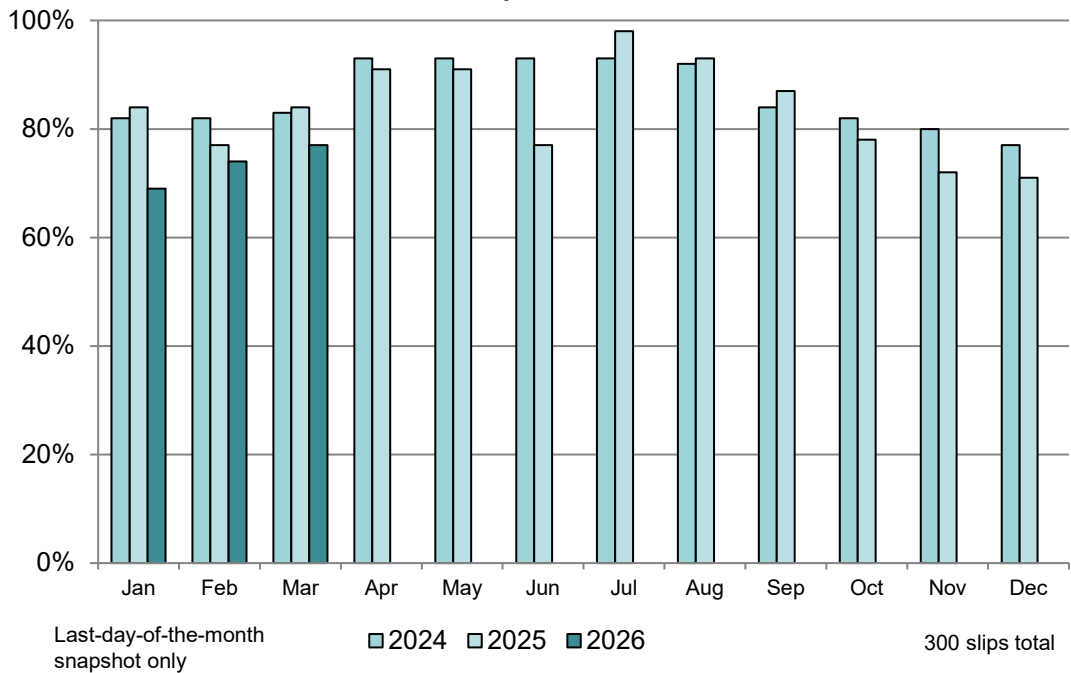


# JWM Occupancy

## Revenue Based



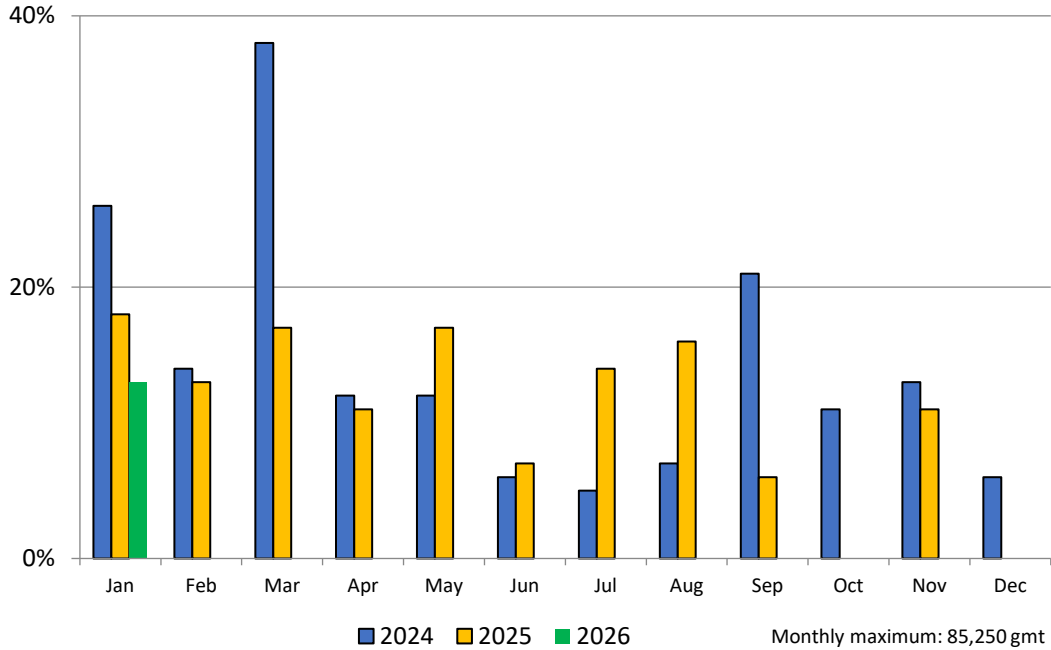
## Slip Based



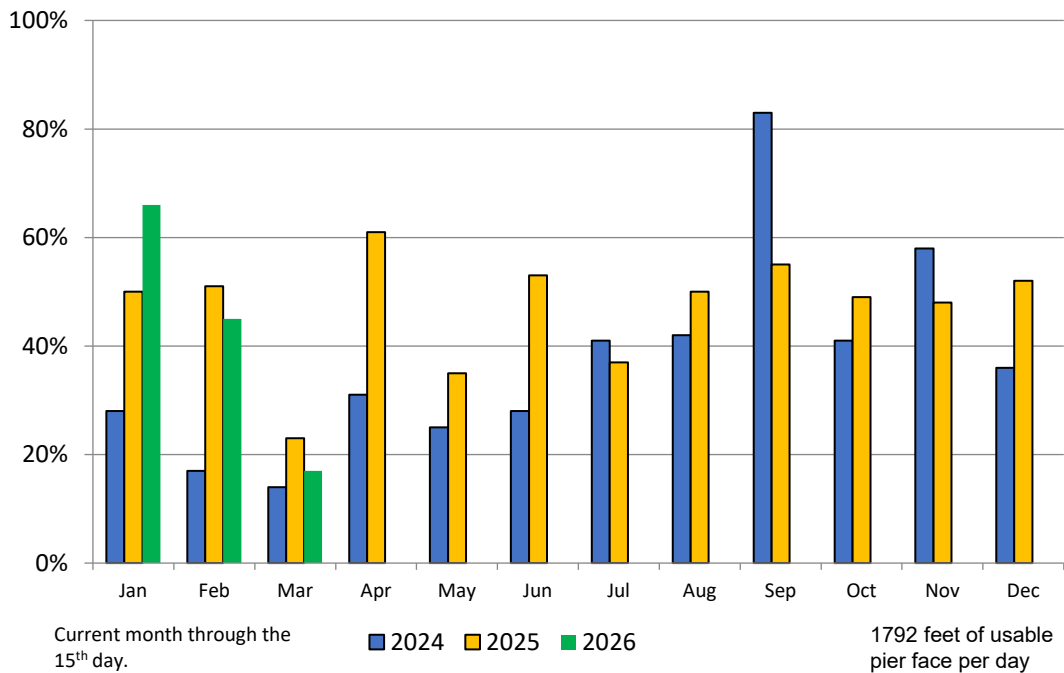


# T1/T3 Utilization

## T3 Cargo Capacity vs. Actual



## Commercial Dockage Utilization Rate



**REPORT TO THE BOARD OF PORT COMMISSIONERS**  
**LOG HANDLING OPERATIONS**  
**1st Quarter 2026**

Log Handling	1st Quarter 2024	1st Quarter 2025	1st Quarter 2026
<b>Log Operation:</b>			
Dumped Loads**	0	0	0
Decked Loads	747	936	305
Green Crow Roll Out - Camp Run	58	81	67
<b>T-7 Container Operations</b>			
# Containers Loaded	162	146	79
<b>T-7/T-5 Log Operations-Discharge (Inbound/DeWater)</b>			
# of Barges	27	17	16
# Barge Loads	978	916	1,025
# DeWater Loads	825	0	388
<b>TOTAL LOADS</b>	<b>2,770</b>	<b>2,079</b>	<b>1,864</b>

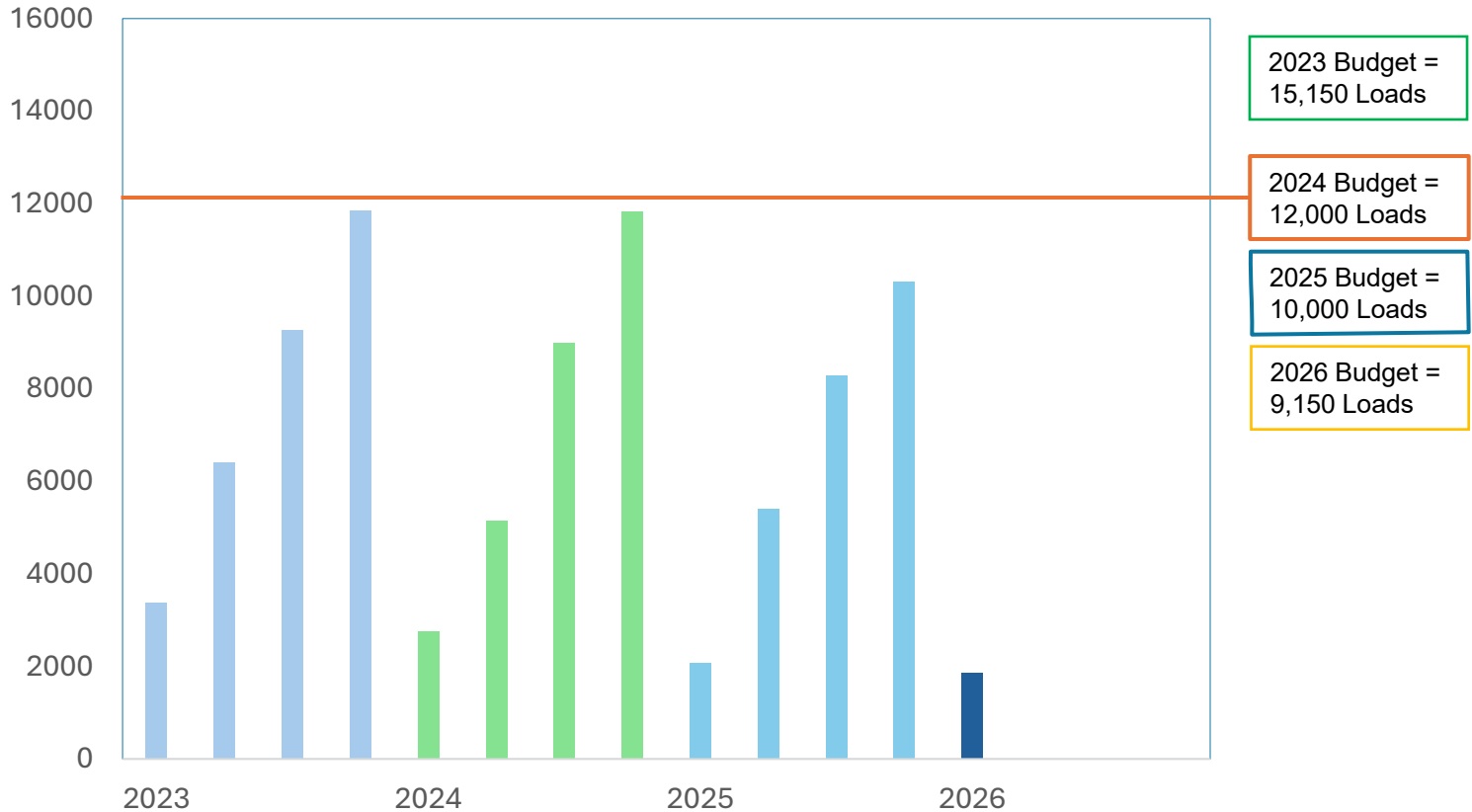
\*\*LOADS DOWN AS ROUNDBOOM (DUMPED LOADS)

Inbound	Inbound	Inbound
12 - PA Hardwood	8 - PA Hardwood	5 - PA Hardwood
0 - Interfor	0 - Interfor	0 - Interfor
0 - Hermann	0 - Herman	0 - Herman
3 - Alta	1 - Alta	3 - Alta
1 - Zoeffel	0 - Zoeffel	0 - Zoeffel
0 - Alcan	0 - Alcan	0 - Alcan
		1 - Krume
Outbound	Outbound	Outbound
0 - Georgia Pacific	0 - Georgia Pacific	0 - Georgia Pacific
8 - Sierra Pacific	5 - Sierra Pacific	6 - Sierra Pacific
0 - Southport	0 - Southport	0 - Southport
0 - Hampton	0 - Hampton	0 - Hampton
0 - Roseburg	0 - Roseburg	0 - Roseburg
2 - Buse	1 - Buse	0 - Buse
1 - Canyon	4 - Canyon	0 - Canyon
		1 - Paper Excellence

NOTE: Unaudited Information

# Port of Port Angeles LY Loads - Cumulative

January 2023 – March 2026



Year	Q1	Q2	Q3	Q4
2023	3,369	6,417	9,264	11,854
2024	2,770	5,140	8,982	11,838
2025	2,079	5,404	8,295	10309
2026	1,864			